



12

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: SYDNEY BETHEL, PLANNER II *SdB*
(480) 503-6721, SYDNEY.BETHEL@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: SEPTEMBER 2, 2020

SUBJECT: DR20-24, RECON OFFICE BUILDING

STRATEGIC INITIATIVE: Exceptional Built Environment

This project will allow for the development of a vacant property to construct an office building in an existing industrial area.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR20-24, Recon Office Building: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 0.75 acres, generally located at 62 South William Dillard Drive and zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay.

APPLICANT

Company: Reset Studios
Name: George Catone
Address: 221 E. Indianola
Phoenix, AZ 85012
Phone: (602) 899-1099
Email: george@resetstudios.com

OWNER

Name: Christy Longstreet
Address: 87 S. William Dillard Dr.
Gilbert, AZ 85233
Phone: (480) 245-7558
Email: christyl@recon-inc.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>January 20, 1987</i>	Town Council approved the Preliminary Plat for the Fortune Center PAD.
<i>July 28, 1987</i>	Town Council approved Z87-12 (Ord. No. 536) amending the Fortune Center PAD to rezone three acres of Agriculture (AG) to Garden Industry (I-1).
<i>January 19, 1998</i>	Town Council approved an amendment to the Fortune Center PAD (Ord. No. 549).
<i>March 28, 2000</i>	Town Council approved Ordinance No. 1257, amending the Fortune Center PAD to rezone 80 acres for the Spectrum Astro facility.
<i>December 19, 2000</i>	Town Council approved the Preliminary Plat for the Elliot Tech Center.
<i>September 4, 2002</i>	Planning Commission approved (S572) the Preliminary Plat for the Elliot Commerce Park.
<i>September 12, 2002</i>	Design Review Board approved the Open Space Plan and entry monument signs (DR02-48) for the Elliot Commerce Park.
<i>October 1, 2002</i>	Town Council approved Z02-12 (Ord. No. 1433) amending the Elliot Commerce Park PAD (Fortune Center).
<i>July 1, 2020</i>	DR20-24, Recon Office Building was continued to the August 5, 2020 Planning Commission public hearing to allow the applicant additional time to address review comments and receive approval from the Property Owners Association.
<i>August 5, 2020</i>	DR20-24, Recon Office Building was continued to the September 2, 2020 Planning Commission public hearing to allow the applicant additional time to address review comments and receive approval from the Property Owners Association.

Overview

The subject site is approximately 0.75 acres, presently vacant, and located within the Elliot Commerce Park. The Elliot Commerce Park is located west of the southwest corner of McQueen and Elliot, directly west of Gilbert Spectrum. The site is lot 59 within the industrial park and is located at the southwest corner of William Dillard Drive and Sierra Madre Avenue. The applicant is proposing a new 9,600 sf two-story office building for RECON Engineering & Construction Inc. which is a mid-sized specialty construction company that specializes in the design, installation, and repair of high temperature refractory and corrosion resistant linings.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Vacant (DR19-202 Sandman Elliot)

			Industrial Building approved on site)
South	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Industrial Building (Elliot Common Business Center)
East	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Industrial Building (Dish)
West	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Industrial Building (Metro Fire Equipment)
Site	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Vacant

Project Data Table

Site Development Regulations	Required per LDC and Ord. No. 1433	Proposed
Building Area	-	1 st Floor – 4,800 sf 2 nd Floor – 4,800 sf Building Total – 9,600 sf
Maximum Building Height (ft.)/(Stories)	55'/3-Stories	28'/2-Stories
Minimum Building Setback (ft.)		
Front (Collector or Local)	25'	25'
Side (Street)	20'	25'
Side (Employment)	0'	62'
Rear (Employment)	0'	88'
Minimum Required Perimeter Landscape Area (ft.)		
Front (Collector or Local)	20'	20'
Side (Street)	20'	20'
Side (Employment)	5'	5'
Rear (Employment)	5'	10'
Landscaping (% of net lot area)	-	31.3%
Off-Street Parking and Loading	Office General 1 space/ 250 sf – 38 Spaces Required	38 Spaces Provided
Bicycle Parking	1 space per 10 required parking spaces	4 Bicycle Spaces Provided

DISCUSSION

Site

The proposed two-story, 9,600 sf building is intended to be an office building for Recon Inc. The building is located on the northeast corner of the site with the parking spaces provided

adjacent to the building and on the western and southern boundaries of the site. A parking canopy is provided for the eight (8) parking spaces just west of the building. There are two (2) drives proposed, one (1) off Sierra Madre Avenue and one (1) off William Dillard Drive. Pedestrian walkways have been provided internal to the site around the base of the building with two (2) sidewalks connecting externally to William Dillard Drive.

Landscape

A total of 31.3% of the net area is landscaped, which exceeds the required landscaping percentage for the site. The proposed tree palette includes Palo Verde and Desert Ironwood with additional landscaping including Fairy Duster and Autumn Sage.

Due to site constraints, the applicant has used landscaping in lieu of parking screen walls for 25% of the required screen wall parking. This site modification is permitted through the Land Development Code (LDC) Article 4.012. A. This can be seen on the northern and eastern portions of the site fronting the street adjacent to the proposed parking stalls. Additional landscaping to provide further screening of the parking in these areas has been requested through a condition of approval to ensure adequate screening.

Grading and Drainage

Retention is provided through an underground storage tank in the parking lot on the south side of the building and in above ground basins within the street frontage landscape areas. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

Elevations, Colors and Materials

There is one (1) two-story building proposed for the site and it is approximately 28' in height. The building has an industrial design that complements existing buildings within the center with large vertical and horizontal elements adorning the building. The primary building material is CMU block in both a smooth and a split-face finish, painted in three (3) different tones of grey. The CMU has been layered on the building in a manner that creates a varied banded design along large portions of the building. Large color blocking is also seen on portions of the building. The primary accent material is a corrugated metal in a grey tone. This can be seen primarily on the entrance of the building on the south elevation, the north elevation, and also on the east elevation accenting a pop-out feature.

Lighting

There are four (4) lighting types proposed, parking lot, building mounted, bollard and parking shade canopy. The parking lot lights are approximately 16' in height and are primarily located on the western and southern perimeters of the site. Presently, many of the proposed parking lot lights are shown in the 30" parking overhang; these will have to be relocated outside of the parking overhang in the CD submittal. The parking canopy lights are mounted under the proposed parking canopy that covers eight (8) stalls on the western portion of the site. The pedestrian bollards have been provided in the landscape areas fronting the street and on the southern portion of the site abutting the building. All lighting proposed is in a dark bronze finish and all site lighting will be required to comply with Town codes.

Signage

Signage is not included in this approval. Administrative Design Review approval is required for monument signage prior to permitting.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR20-24, Recon Office Building: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 0.75 acres, generally located at 62 South William Dillard Drive and zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay, subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the September 2, 2020, public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. Signage is not included in this approval. Administrative Design Review approval is required for monument signage prior to submitting for sign permits.
4. Additional landscaping shall be provided on the northern and eastern portions of the site fronting the street adjacent to the proposed parking stalls to increase required screening. At minimum, two (2) additional 5-gallon Fairy Duster or Texas Sage, or combination of the both, shall be added to the northern portion and three (3) to the eastern.
5. Parking screen walls shall be set back a minimum of 3' and a maximum of 6' from the perimeter of any parking space, driveway, or any access aisle, as measured from the back of curb.
6. Parking lot light poles located within the 30" parking overhang shall be relocated out of the overhang area.

Respectfully submitted,



Sydney Bethel
Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Project Narrative
- 5) Site Plan
- 6) Landscape
- 7) Grading and Drainage
- 8) Elevations
- 9) Colors and Materials
- 10) Floor Plans
- 11) Lighting

**FINDINGS OF FACT
DR20-24, Recon Office Building**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

DR20-24 Recon Office Building
Attachment 2 - NOPH

Notice of Public Hearing

PLANNING COMMISSION DATE:

Wednesday, July 1, 2020* TIME: 6:00 PM

LOCATION: Due to the impacts of the COVID-19 pandemic, all public meetings will be conducted using measures to protect public health until further notice. Please refer to the meeting agenda for methods of public participation, as permitted under Arizona state law.

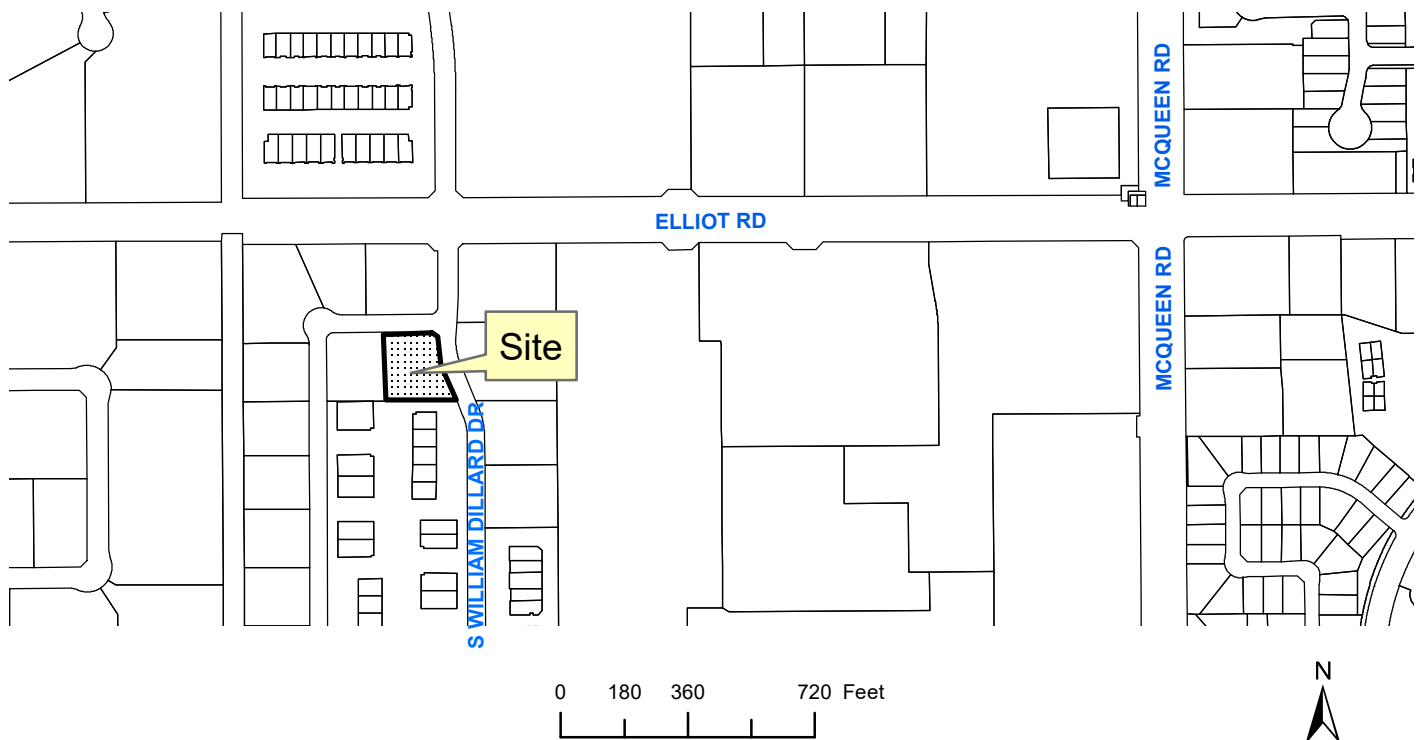
***Call Planning Division to verify date and time: (480) 503-6721**

* The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission and www.gilbertdocs.com/gilbertagendaonline.

REQUESTED ACTION:

DR20-24 RECON OFFICE BUILDING: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 0.74 acres, generally located at 62 South William Dillard Drive, and zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay

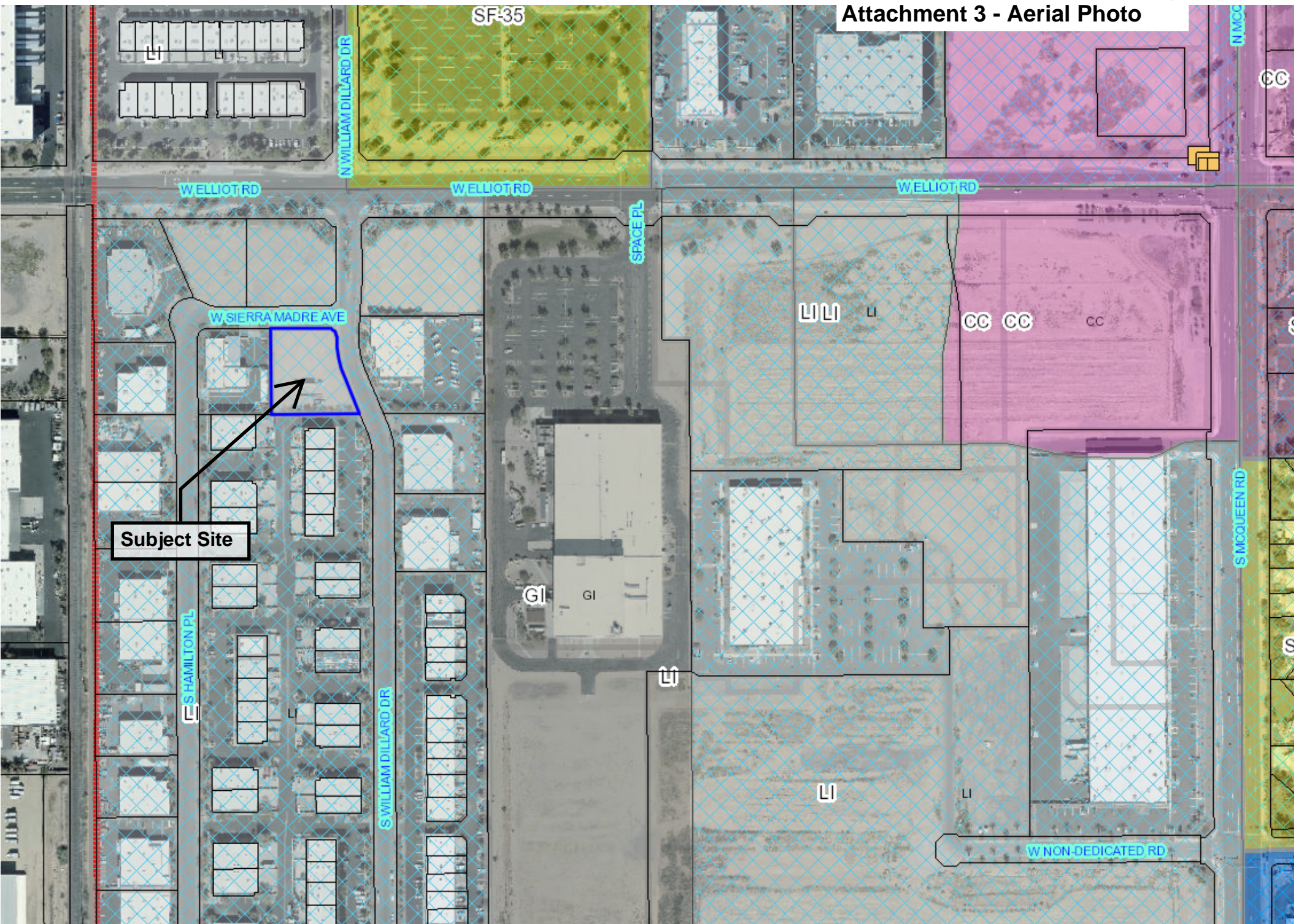
SITE LOCATION:



APPLICANT: Reset Studios
CONTACT: George Catone
ADDRESS: 221 E. Indianola Ave.
Phoenix, AZ 85012

TELEPHONE: (602) 899-1099
E-MAIL: george@resetstudios.com

DR20-24 Recon Office Building
Attachment 3 - Aerial Photo





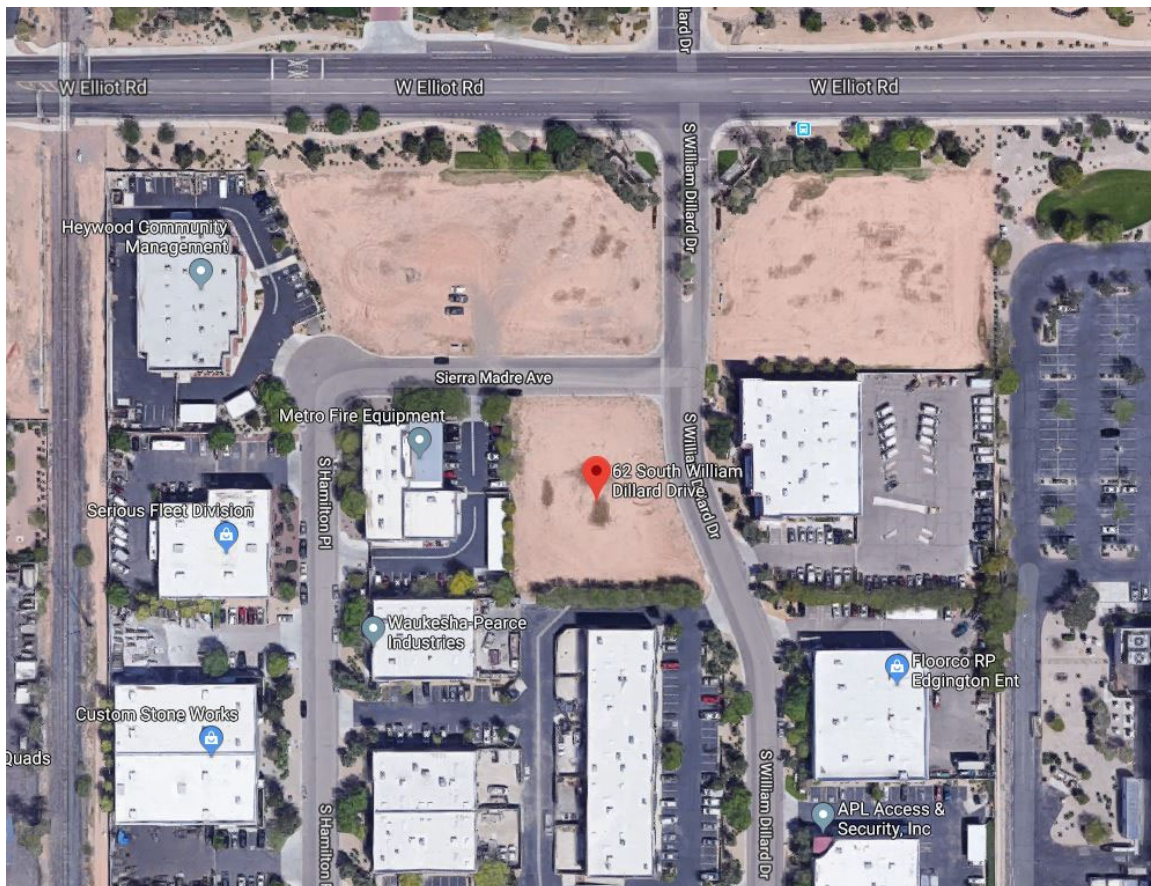
221 East Indianola Avenue
Phoenix, Arizona 885012
602.899.1099

PROJECT: Recon New Office Building
PROJECT NO: 1921
DATE: 24 May 2020

PROJECT NARRATIVE

The Recon New Office building project submission is for a new 9,600 SF, 2 story office building. The exterior is planned to match the existing building being used by Recon across the street (87 S William Dillard Drive)- CMU bearing wall and wood framed floors/roof. Since it's an office building, it's envisioned with lots of glass, and color palette and design to match Gilbert design guidelines. Site Specific development as required.

The site plan G12 shows the intended layout of parking and the building relation to the street. The intended floor plans are provided on sheets A10 and A11, and included mostly offices and support spaces including restrooms, and a weight room.



The parking needs for the site are based on the office use for the project, and are calculated below.

PARKING REQUIRED: OFFICE, PER GSF PER TABLE 4.204
1 SPACE PER 250 SF
9,600 / 250 = 38 SPACES

PARKING PROVIDED: 38 SPACES

Since the office use is driving a large parking requirement for the site (especially compared to adjacent less-intense warehouse uses), the site has been laid out to maximize the parking areas. The building has been placed on the north east corner to allow for a longer term parking strip to the west of the building, and a shorter-term parking loop at the south of the site that allows easy access to things like the accessible parking at the building entry and the trash enclosure. The eastern driveway cut is roughly aligned with an existing cut on the other side of William Dillard Drive.

There is a desire to provide 11 covered parking spaces adjacent to the building.

Report by: George Catone

cc: file

GENERAL SITE REQUIREMENTS

- Article 4.2030. Parking Overhang; Vehicles may overhang landscape areas or sidewalks by 30 inches provided that the side walk is a min. 4' or a landscape planter is not less than 5' after overhang. Overhangs may not extend into landscape setbacks.
- Bicycle parking is required on all projects at a ratio of 1:10 vehicle parking spaces. These should be located near entry points to the building. The parking may not block required sidewalk access. Article 4.2016
- Parking lot landscape islands are required every 8 parking stalls. The islands must be a minimum 5' wide from inside curb to inside curb. Refer to Article 4.2012B
- Building and landscape setbacks must be dimensioned from the property line.
- Refer to Article 4.3 for landscape requirements. Foundation landscape will be required in a planter not less than 3' wide.
- Trash enclosure shall comply with Town of Gilbert Standard Detail #80
- Lighting candlefoot may not exceed .3 at property lines.
- Screen walls are required within 75' of rights-of-ways and shall be 3' to 4' high, horizontally staggered every 100' and at least 3' from the perimeter of any parking space, driveway or access aisle as measure from back of curb.

GENERAL SITE INFORMATION

ADDRESS: 62 S WILLIAM DILLARD DR
GILBERT 85233
PARCEL: 302-29-471
OWNER: INCLUSIVE LLC

EXISTING ZONING: L1 (UNCHANGED)
PROPOSED ZONING: L1 (UNCHANGED)
PROPOSED USE: COMMERCIAL OFFICE, GENERAL
(PERMITTED PER Table 2.902 Use Regulations)

TOTAL GROSS SITE AREA: 32,625 SF (0.7490 AC)

BUILDING HEIGHT: TWO STORY / 28'-0"

BUILDING AREA FIRST 60 X 80 = 4,800
BUILDING AREA SECOND 60 X 80 = 4,800
BUILDING AREA TOTAL 9,600

LANDSCAPE AREA CALCULATION

On-site landscape area: 10,230.48 SF
Off-site landscape area: 0 SF
Total landscape area: 10,230.48 SF
Site area: 32,625.00 SF
Open space: 10,230 / 32,625 = 31.3% > 15%, therefore OK.

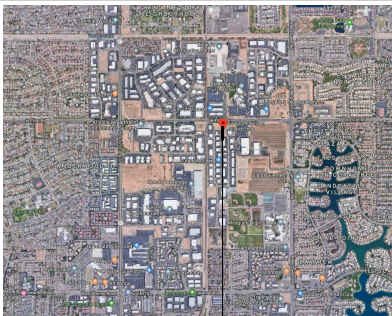
BUILDING SETBACKS:
FRONT: 25'-0"
SIDE (COLLECTOR): 15'-0"
SIDE (RESIDENTIAL): 15'-0"
SIDE (NON-RESIDENTIAL): 10'-0"
REAR (RESIDENTIAL): 15'-0"
REAR (NON-RESIDENTIAL): 10'-0"

PARKING REQUIRED: OFFICE, PER GSF
PER TABLE 4.204
1 SPACE PER 250 SF
9,600 / 250 = 38 SPACES
PARKING PROVIDED: 38 SPACES

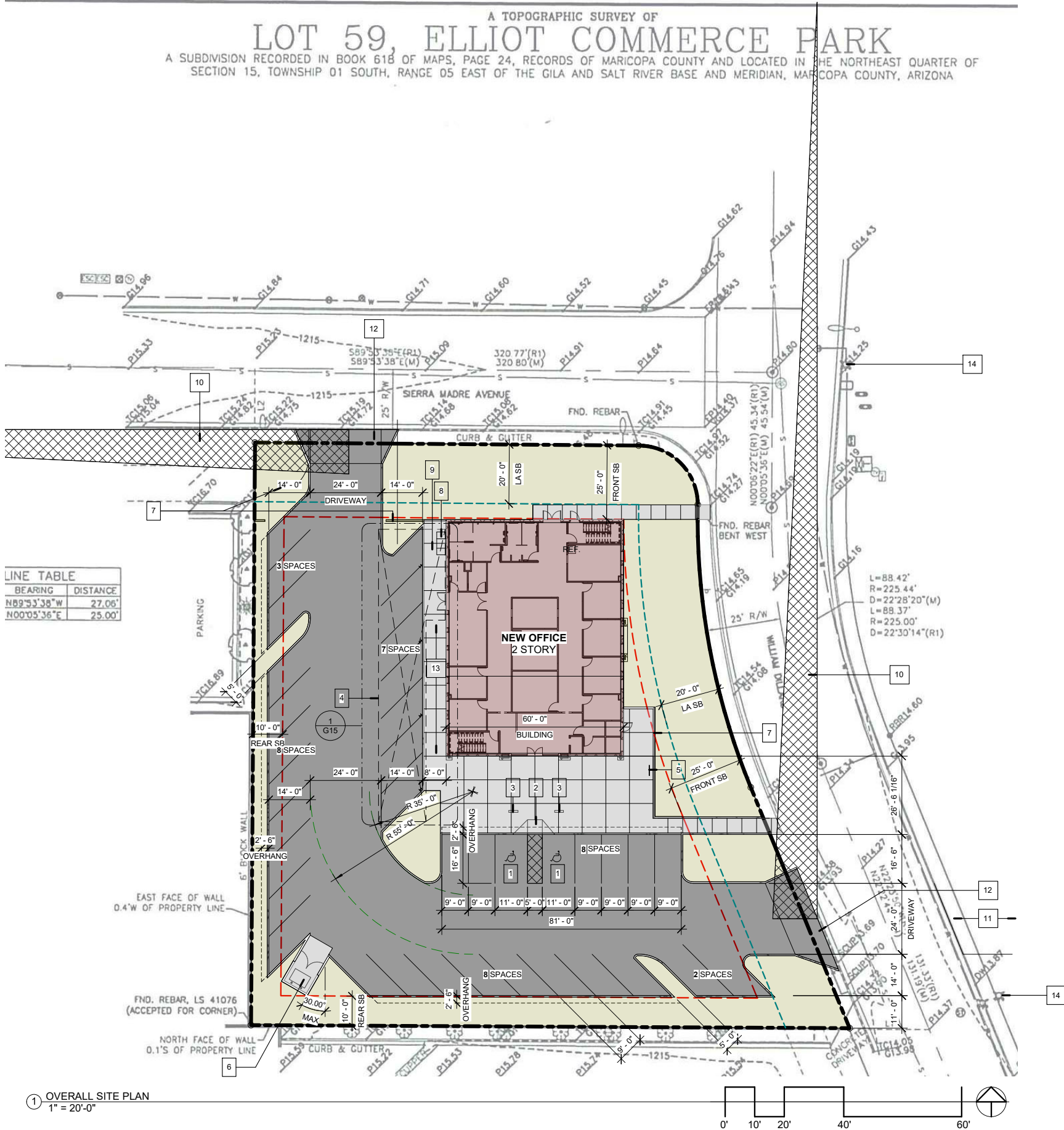
PARKING SIZES PER TABLE 4.026B
AISLE 24'-0" or 25'-0"
SPACE WIDTH 9'-0" or 9'-6"
SPACE LENGTH 19'-0" or 19'-0"

BICYCLE PARKING: 1:10 PARKING SPACES
38/10 = 4 BIKE PARKING SPACES
SEE CUTSHEET

VICINITY MAP



RECON NEW OFFICE BUILDING
62 S WILLIAM DILLARD DR, GILBERT 85233



1 OVERALL SITE PLAN
1" = 20'-0"

KEYNOTES

- ADA PARKING
- RAMP
- ADA SIGNAGE
- COVERED PARKING - PRE-FAB STRUCTURE
- BIKE RACK - 4 BIKES MIN.
- TRASH / RECYCLING ENCLOSURE. SEE GILBERT STANDARD DETAIL GIL-180
- NEW SITE WALL - 3'-0" HIGH, MASONRY. SEE WALL DETAILS ON G13
- NEW SEATING - EMPLOYEE AMENITY AREA. 2 SEAT PICNIC TABLE - ADA ACCESSIBLE
- EMPLOYEE AMENITY AREA - SHADED
- VISIBILITY TRIANGLE - SEE GIL212
- APPROXIMATE LOCATION OF ADJACENT DRIVEWAY
- DRIVEWAY TO BE PER DETAIL GIL-210. MINIMUM WIDTH OF 30' AT BACK OF DRIVEWAY.
- 10'-0" SEPARATION OF COVERED PARKING STRUCTURE FROM BUILDING NOT POSSIBLE - FIRE SPRINKLERS PROVIDED
- EXISTING FIRE HYDRANT

Standard Commercial Site Notes

Standard Commercial and Industrial Site Plan Notes
March 11, 2004

- All utility lines less than 69 KV on or contiguous to the site shall be installed or relocated underground.
- All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard which is screened by a perimeter wall at least 6 feet in height.
- All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 6' solid masonry wall. Industrial storage screen walls shall be finished where they are exposed to public view from streets or adjacent non-industrial uses.
- S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:
 - Fully recessing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet;
 - Screening with a decorative masonry wall of the same height as the panel. The screen wall may be L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet;
 - An alternative screening method approved by the Planning Department prior to issuance of any permits.
- The location of all electrical utility equipment shall be identified on the construction plans.
- Roof-mounted mechanical equipment shall be fully screened by either one of the following methods:
 - The parapet wall of the building shall equal or exceed the height of the mechanical units, or;
 - By locating the mechanical equipment behind the roof planes in the case of mansard, hip or other than flat roof.
- Roof mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof parapet. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
- Ground mounted mechanical equipment shall be fully screened from view (from streets or surrounding commercial uses) by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height of the equipment.
- Pneumatic tubes, whether metal or plastic, shall be either:
 - Enclosed in pilasters, columns or other architectural features of the canopy or building, or;
 - Routed underground.
- All backflow prevention devices 2" or larger shall be screened with landscape located within a 6' radius of the device. All backflow preventers less than 2" shall be placed in a wire cage painted to match the primary building color.
- All freestanding light poles shall:
 - Be located within landscaped areas or planter islands.
 - Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30' from adjacent grade.
 - Be located to avoid conflict with trees.
- Site lighting shall comply with the light and glare criteria set forth in Section 4.103 of the LDC, including a maximum freestanding light fixture height of 25'.
- Landscaped areas adjacent to public right-of-way shall be mounded and naturally contoured. No more than 50% of the required (right-of-way and landscaping tracts) landscaping fronting adjacent streets may be used for retention. Retention area side slopes shall be varied, and no slope shall exceed a 4:1 maximum.
- Commercial building downspouts shall be internalized. Industrial buildings may use exposed downspouts if articulated with the architecture of the building and built with a durable material such as steel.
- Commercial development vehicular access points and pedestrian access ways shall include special paving treatment such as integral colored stamped concrete, Boamante, or similar alternative. Location and material shall be reviewed and approved by the Planning Department prior to the issuance of a building permit.
- Customer, employee and visitor parking shall be screened from street view by low masonry walls. The parking screen walls shall be finished on both sides using the same materials and colors, and a design to complement that of the main building.
- All exterior metal shall be finished or painted to match the approved project colors.
- Existing on-site plant material damaged during construction shall be replaced with comparable species and size.

RESET
STUDIOS

RESET STUDIOS, L.L.C.
221 East Indianola Avenue
Phoenix, AZ 85012
p. 602.899.1099

www.resetstudios.com



stamp

PERMIT REVIEW

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written permission

New Construction at:
62 S WILLIAM DILLARD DRIVE, GILBERT AZ 85233

RECON ENGINEERING

NEW OFFICE BUILDING

SITE PLAN

Revision Schedule

Description	Date
SD Review	06/30/19
SD REV1	07/06/19
DRB	08/29/19
PERMIT REV	03/17/20
PERMIT REV2	03/24/20
ELEC REVIEW	04/01/20
ELEC REVIEW	04/14/20
ELEV REV1	05/12/20
PERMIT REV3	05/24/20

G12

PICNIC TABLE - ADA ACCESSIBLE



PARK WAREHOUSE.COM OR EQUAL
Two Seat - Picnic Table - Square - Concrete - ADA
\$992.00
SKU: 544pt170

BIKE RACK



The Wave Bike Rack has a sleek and modern look that radiates reliability and simplicity. This imported Wave Rack provides the same support and security of the 'U' Rack, but has a larger bike parking capacity. This rack is available in three lengths that each can secure upto 5, 7 or 9 bicycles.

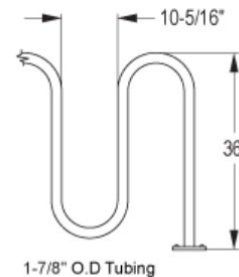
Features

- 1-7/8" O.D. Steel Tube
- 304 Stainless Steel

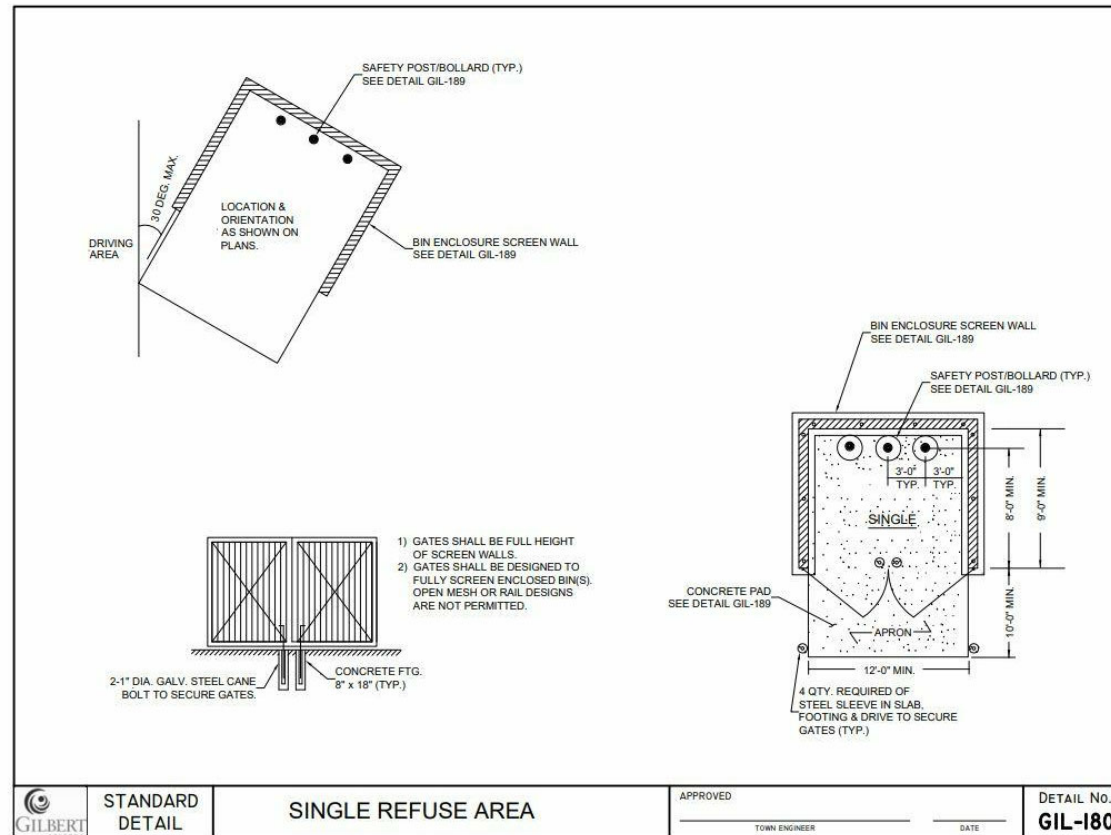
It is created with popular and durable steel with either a black powder-coated finish or stainless steel finish. The Wave style bike rack uses solid base flanges, which block tube entrances to keep out insects, small creatures and moisture.

Dimensions

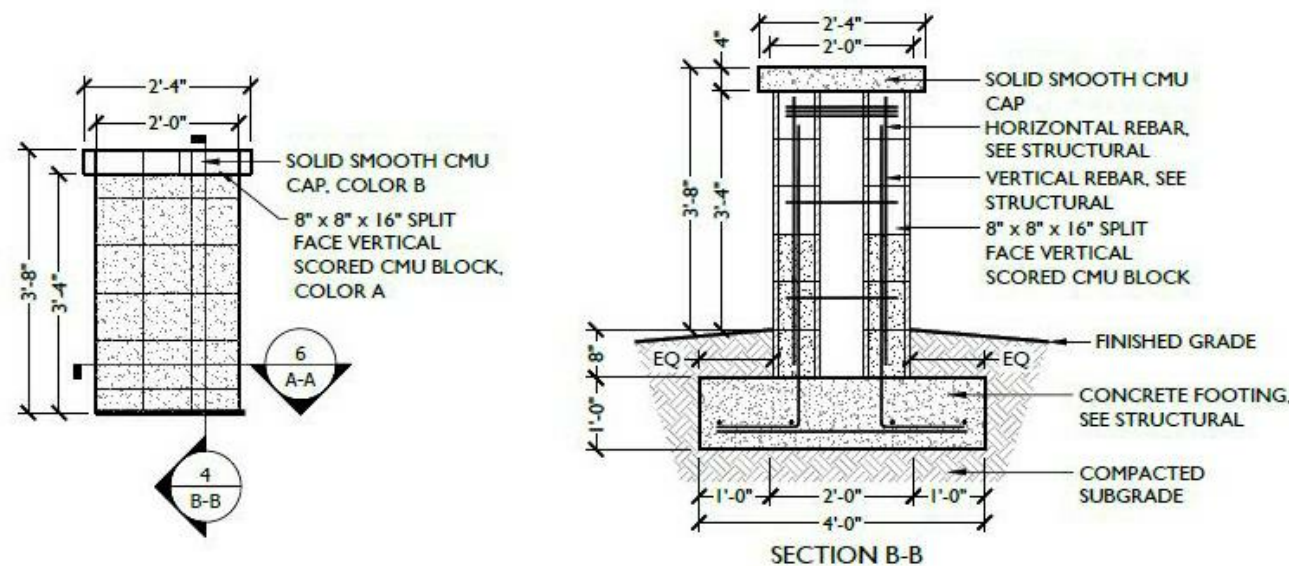
3 Loops 5 Bike - 42-1/8"L x 36"H



REFUSE ENCLOSURE

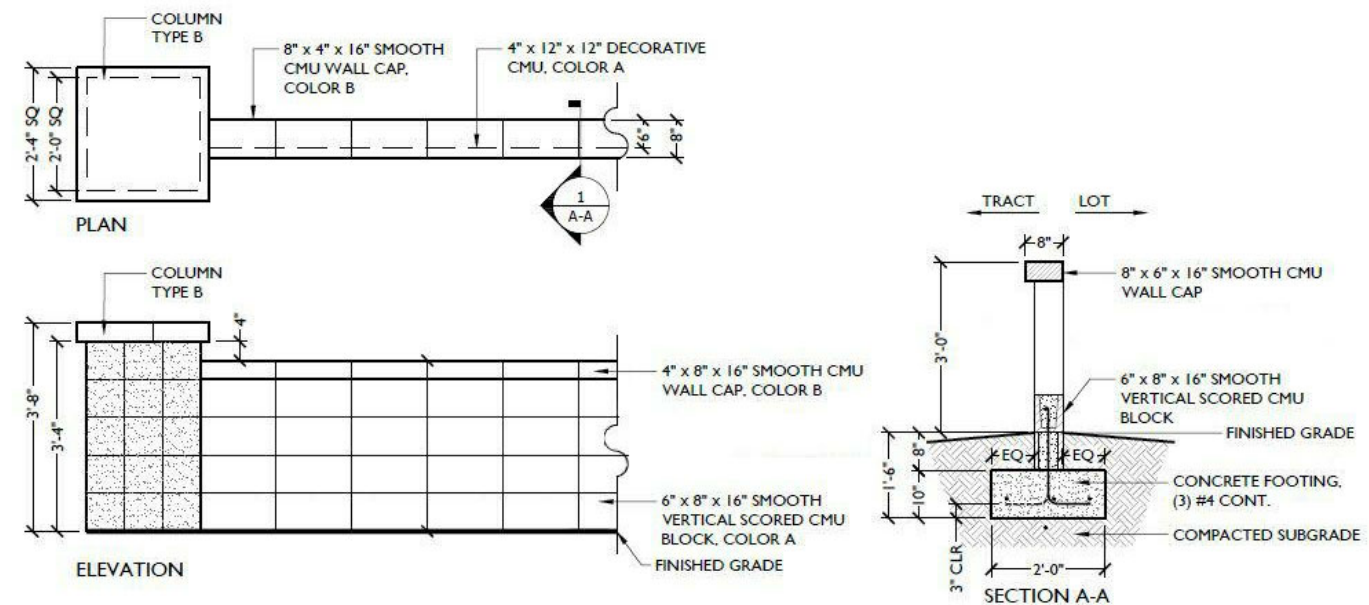


DECORATIVE LOW COLUMN



DECORATIVE LOW COLUMN

DECORATIVE LOW WALL



DECORATIVE LOW WALL



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RECON ENGINEERING

NEW OFFICE BUILDING

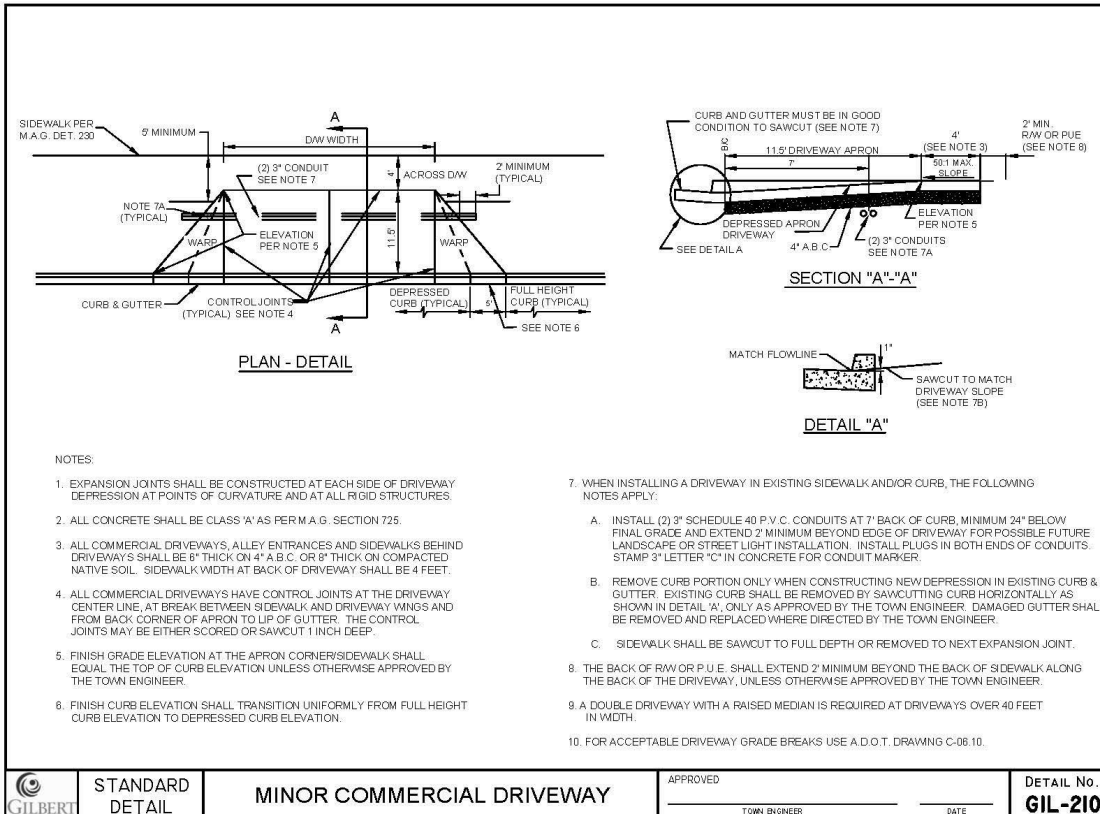
SITE PLAN DETAILS

Revision Schedule

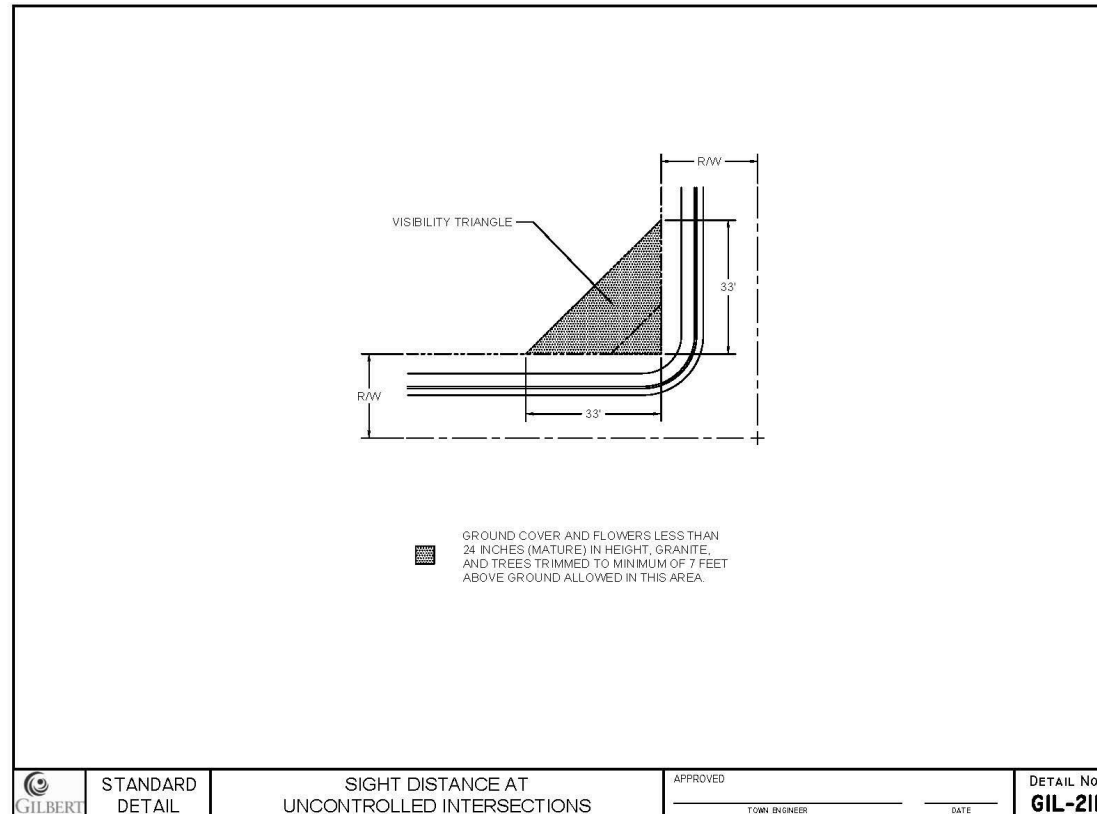
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G13

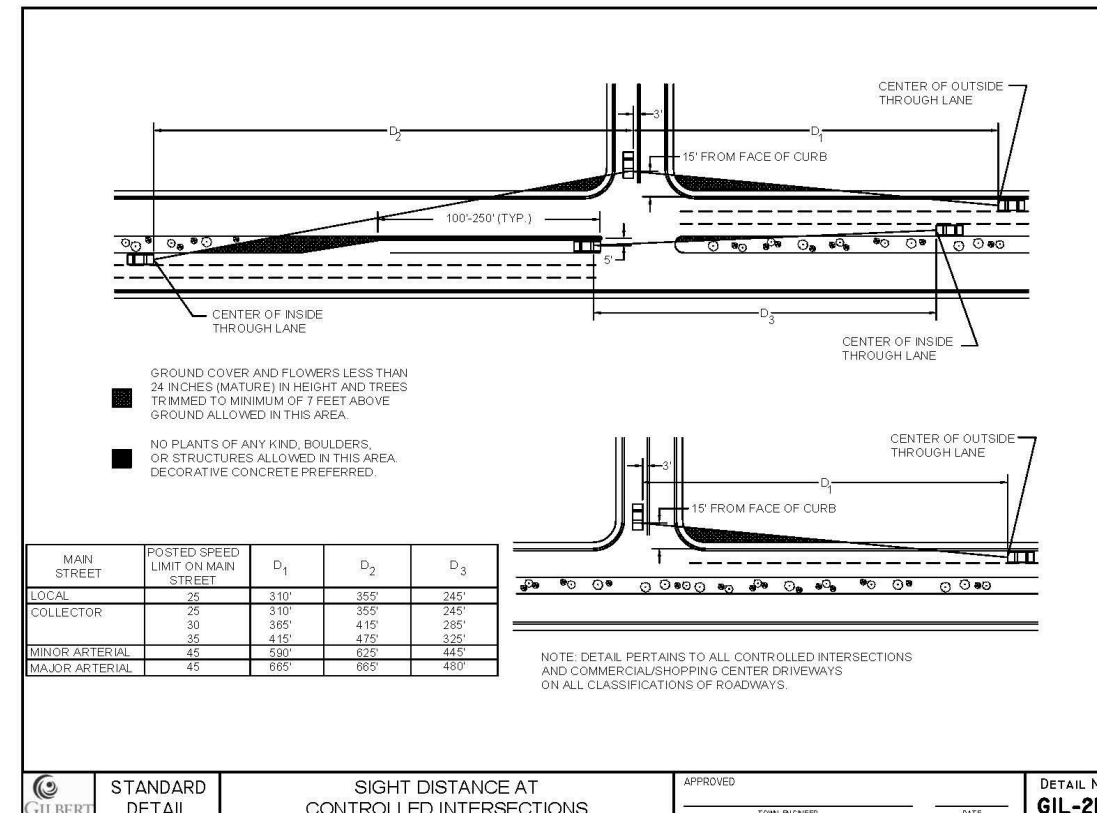
MINOR COMMERCIAL DRIVEWAY



SIGHT VISIBILITY TRIANGLE



SIGHT VISIBILITY TRIANGLE



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RECON ENGINEERING

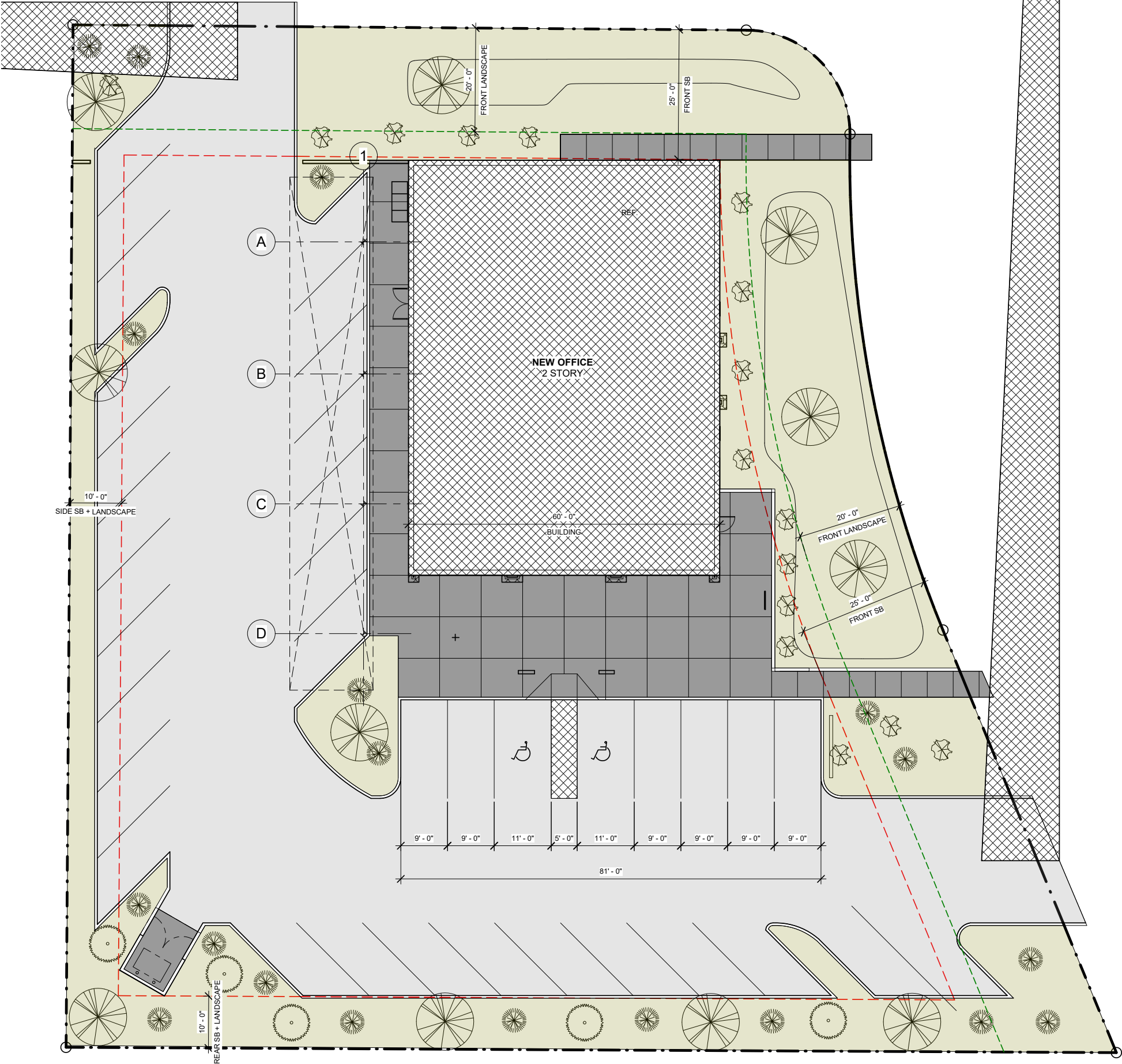
NEW OFFICE BUILDING

[illegible]

SITE PLAN DETAILS





G14

DR20-24 Recon Office Building
Attachment 6 - Landscape



SIDE / REAR LANDSCAPE SETBACK AREA REQUIREMENTS
3,838.63 SF of req'd LSB / 1,000= 3.83 x 3 = **12 trees required**, 12 trees provided (24" box min. evergreen or semi-evergreen species)
3,838.63 / 1,000 = 3.83 x 5 = **20 - 5 gal. shrubs required**, 20 shrubs provided.
(sf of req'd lsb) / 20%= # sf coverage of (1 gal.) vegetative ground cover

LANDSCAPE AREA CALCULATION
On-site landscape area: 10,230.48 SF
Off-site landscape area: 0 SF
Total landscape area: 10,230.48 SF
Site area: 32,625.00 SF
% open space: 10,230 / 32,625 = **31.3% > 15%, therefore OK.**

PLANT SCHEDULE			
Trees	Botanical / Common Name	Size	Quantity
	Parkinsonia microphyllum Palo Verde	24" box	11
	Olneya Tesota Desert Ironwood	24" box	5
Shrubs	Botanical / Common Name	Size	Quantity
	Callandra Erlorphylla Fairy Duster	5 gal	19
	Leucophyllum frutescens Texas Sage	5 gal	15

2 PLANT SCHEDULE / INFORMATION
3/32" = 1'-0"

1 LANDSCAPE PLAN
3/32" = 1'-0"



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RECON ENGINEERING

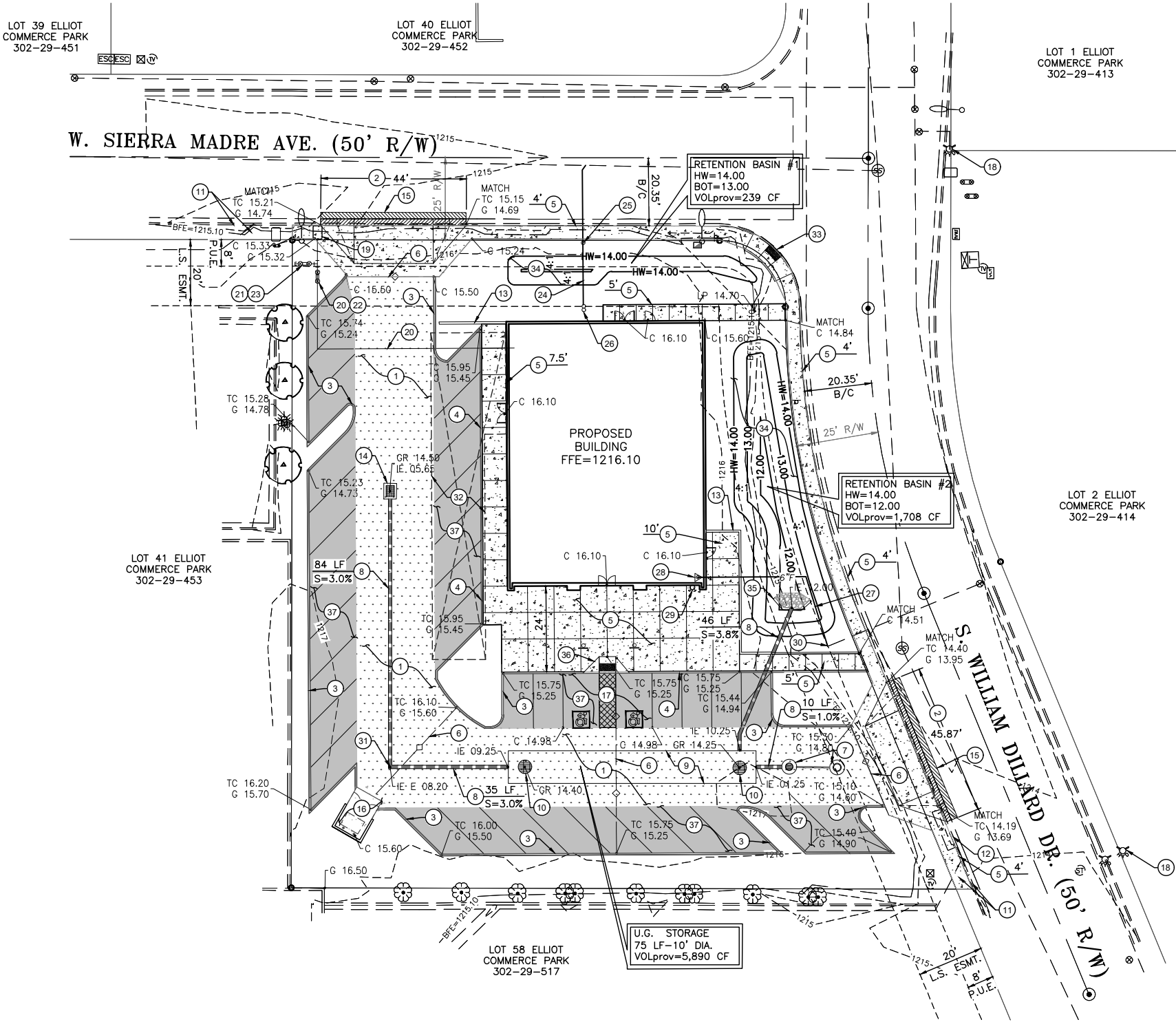
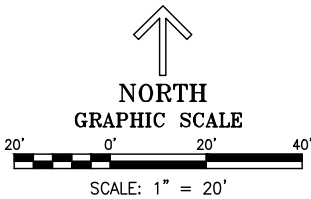
NEW OFFICE BUILDING

Revision Schedule	
Description	Date
SD Review	06/30/19
SD REV1	07/06/19
DRB	08/29/19
PERMIT REV	03/17/20
PERMIT REV2	03/24/20
ELEC REVIEW	04/01/20
ELEC REVIEW	04/14/20
ELEV REV1	05/12/20
PERMIT REV3	05/24/20
HOA REV2	07/27/20
HOA Approval	08/07/20

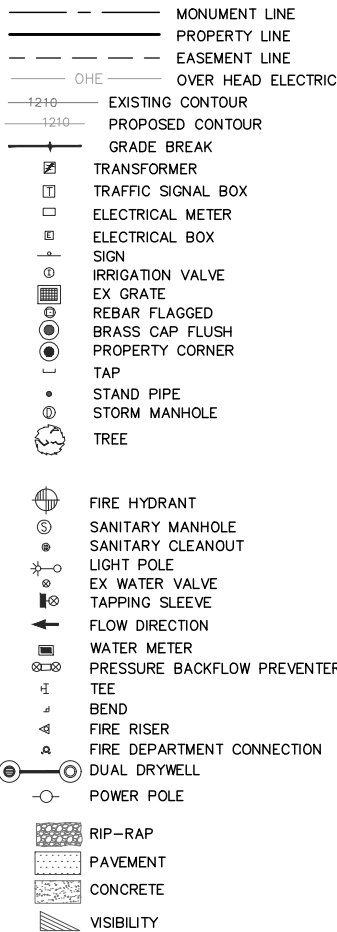
LANDSCAPE PLAN

L1

PRELIMINARY GRADING AND DRAINAGE PLAN
FOR
GILBERT OFFICE BUILDING
62 S. WILLIAM DILLARD DR.
APN: 302-29-471



LEGEND



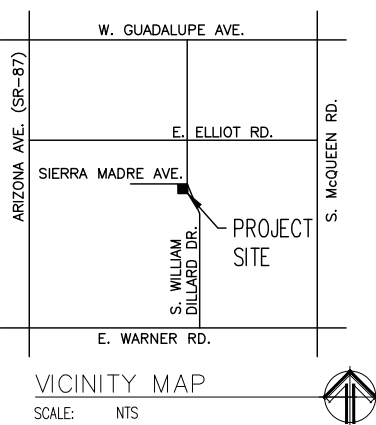
RETENTION CALCULATIONS

ON SITE FLOW IS PROVIDED FOR THE 50-YEAR, 24-HOUR STORM EVENT. RUNOFF FROM THE HALF STREET ROW IS DIRECTED TO A PUBLIC STORM DRAIN SYSTEM AND RETENTION IS ADDRESSED ELSEWHERE.

REQUIRED	
$V_{req} = C \cdot A \cdot P / 12$	
A	32,625 SF (NET)
P	3.0 INCH
C	0.90
VOL REQUIRED	7,341 CF
PROVIDED	
BASIN #1	239 CF
BASIN #2	1,708 CF
U.G. PIPE	5,890 CF
VOL PROVIDED	7,837 CF

KEYNOTES

1. NEW HEAVY DUTY ASPHALT PAVEMENT.
2. NEW DRIVEWAY APRON PER DTL. GIL-210.
3. NEW CONCRETE EXTRUDED CURB.
4. NEW MONOLITHIC CURB AND SIDEWALK.
5. NEW SIDEWALK, WIDTH PER PLAN.
6. CONSTRUCT GRADE BREAK.
7. NEW DUAL CHAMBER DRYWELL.
8. NEW 12" H.D.P.E. STORM DRAIN PIPE, LENGTH AND SLOPE PER PLAN.
9. NEW 10' CMP UNDERGROUND STORMWATER TANK (U.G.S.T.), LENGTH AS SHOWN. INV=01.25.
10. NEW GRATED INLET ACCESS MANHOLE.
11. EXISTING CURB & GUTTER AND SIDEWALK.
12. EXISTING CONCRETE CATCH BASIN TO REMAIN.
13. NEW 3' SCREEN WALL.
14. NEW CATCH BASIN PER M.A.G. STD. DTL. 535.
15. SAWCUT EXISTING PAVEMENT.
16. NEW TRASH COLLECTION AREA.
17. NEW A.D.A. PARKING, MAINTAIN 2% SLOPE IN ALL DIRECTIONS.
18. EXISTING FIRE HYDRANT.
19. EXISTING WATER METER.
20. NEW 2" DOMESTIC WATER SERVICE.
21. NEW 1" LANDSCAPE WATER SERVICE.
22. NEW 1" BFPD (DOMESTIC).
23. NEW 1" BFPD (LANDSCAPE).
24. NEW 6" SANITARY SERVICE.
25. NEW SANITARY CLEANOUT.
26. NEW SANITARY BUILDING SERVICE.
27. NEW FIRE SERVICE.
28. NEW FIRE RISER AND BUILDING CONNECTION.
29. NEW FDC.
30. NEW FIRELINE TO EXISTING TAP.
31. NEW 90' STORM DRAIN ELBOW.
32. NEW COVERED PARKING, SEE ARCHITECTURAL PLANS.
33. NEW SINGLE RADIAL CURB RAMP PER M.A.G. STD. DTL. 236-1.
34. RETENTION BASIN WITH 4:1 SIDESLOPES.
35. NEW CONCRETE HEADWALL.
36. NEW SIDEWALK RAMP.
37. NEW LIGHT DUTY ASPHALT PAVEMENT.



SITE AREA

GROSS LOT AREA = 42,204 S.F. (0.969 AC)
NET LOT AREA = 32,625 S.F. (0.749 AC)

LEGAL DESCRIPTION

SPECIAL WARRANTY DEED: 2018-0758711, MCR LOT 59, OF ELLIOT COMMERCE PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 618 OF MAPS, PAGE 24 AND AFFIDAVITS OF CORRECTION RECORDED IN DOCUMENT NO. 2003-0725761, DOCUMENT NO. 2003-0760657 AND DOCUMENT NO. 2003-1542411, ALL OF OFFICIAL RECORDS. CONTAINING 32,625 SF [0.7490 ACRES] MORE OR LESS.

BASIS OF BEARING

THE MONUMENT LINE OF SIERRA MADRE AVENUE AS MONUMENTED AND SHOWN HEREON BEARING S89°53'38"E.

BENCHMARK

BRASS CAP IN HANDHOLE FOUND AT THE INTERSECTION OF ELLIOT ROAD & MCQUEEN ROAD, ALSO BEING THE NORTHEAST CORNER OF SECTION 15, TOWNSHIP 01 SOUTH, RANGE 05 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. ELEVATION = 1218.110' (NAVD88 - GDACS DATUM)

FLOOD INFO - FIRM DATA

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 04013C2727 M DATED NOVEMBER 4, 2015, THE MAJORITY OF THE SUBJECT PROPERTY IS LOCATED IN ZONE X, WITH A PORTION, INCLUDING THE STREET FRONTAGES LOCATED IN ZONE AH. ZONE X IS DESCRIBED AS: "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD." ZONE AH IS DESCRIBED AS: "AREAS WITH BFE OR DEPTH". FOR THE SUBJECT PROPERTY, THE BFE IS 1215.10'.

OFFSITE DRAINAGE

OFFSITE FLOWS FROM THE SOUTH HALF OF SIERRA MADRE AVENUE ARE CONVEYED EAST ALONG THE SOUTH GUTTER LINE TO THE INTERSECTION OF WILLIAM DILLARD DRIVE. THE WEST HALF OF WILLIAM DILLARD DRIVE PLUS THE FLOWS FROM THE SOUTH HALF OF SIERRA MADRE AVENUE ARE CONVEYED ALONG THE WEST GUTTER LINE TO A CATCH BASIN LOCATED AT THE SOUTHEAST PROPERTY LINE. STORMWATER IS THEN CONVEYED THROUGH A TOWN STORM DRAIN AND THEN SOUTH INTO AN EXISTING RETENTION BASIN FOR ELLIOT COMMERCIAL PARK.

DR20-24 Recon Office Building
Attachment 8 - Elevations

KEYNOTES

- 1 SPLIT-FACED BLOCK - TYPE A
- 2 SMOOTH BLOCK - TYPE B
- 3 SMOOTH BLOCK - TYPE C
- 4 SES
- 5 METAL WALL PANEL
- 6 STEEL CANOPY
- 7 INTENDED BUILDING SIGNAGE AREA - SEPARATE PERMIT
- 8 ADDRESS NUMBERS - 12" HIGH, RAISED METAL
- 9 LIGHT FIXTURE
- 10 MECHANICAL UNIT BEHIND PARAPET - PARAPET TO THE TOP OF UNIT, TYPICAL
- 11 BUILDING SIGNAGE

RESET
STUDIOS

RESET STUDIOS, L.L.C.
221 East Indianola Avenue
Phoenix, AZ 85012
p. 602.899.1099

www.resetstudios.com



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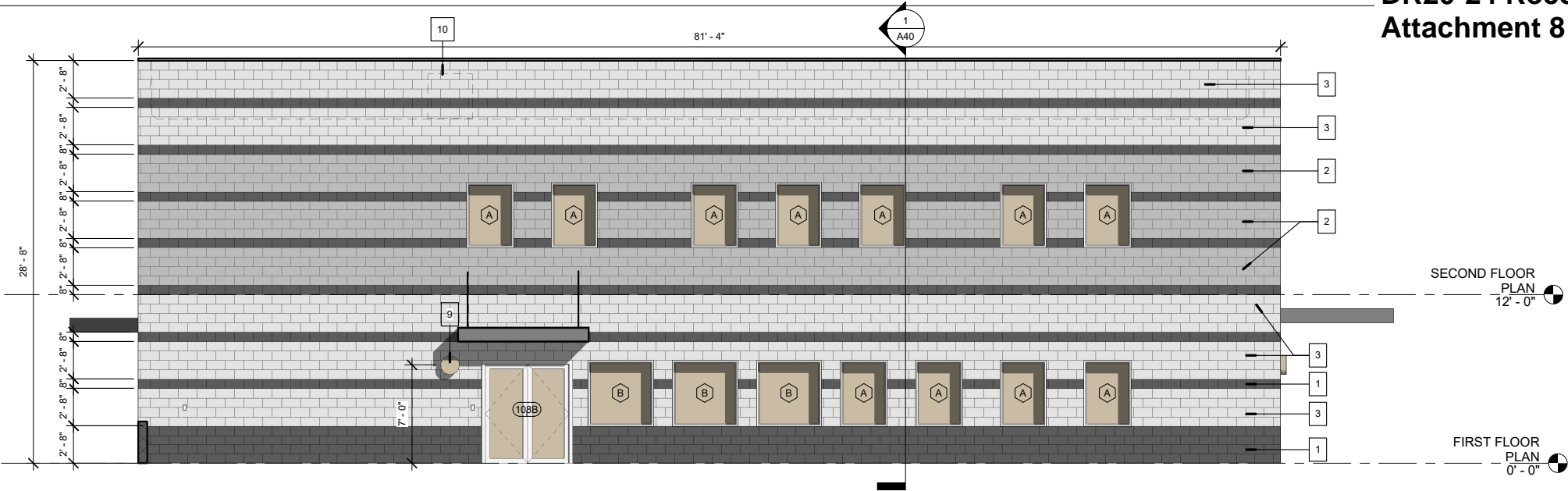
RECON ENGINEERING

NEW OFFICE BUILDING

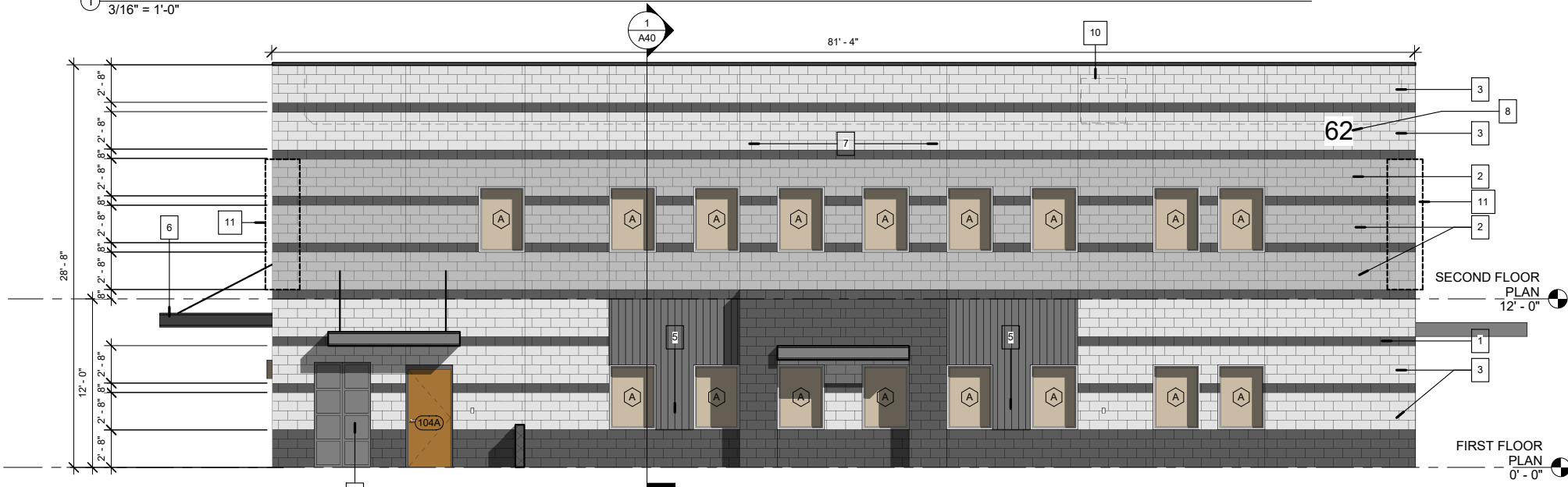
EXTERIOR ELEVATIONS

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SD Review	06/30/19
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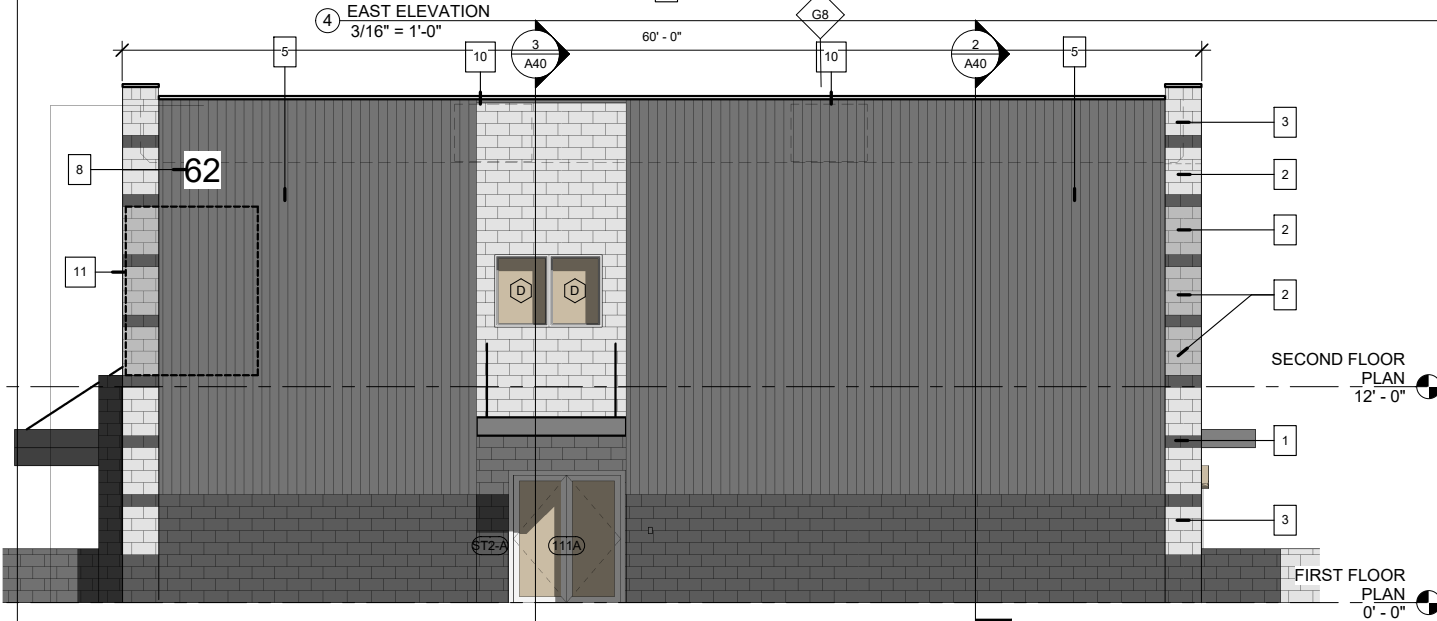
A30



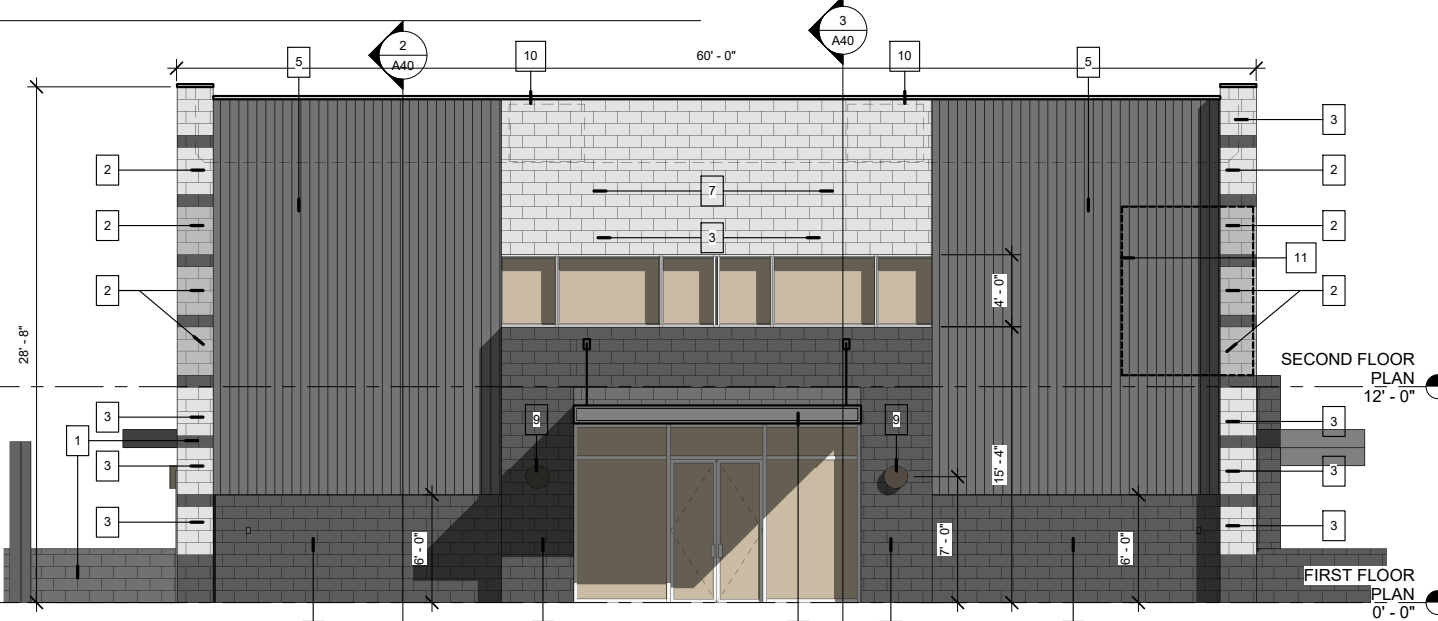
1 WEST ELEVATION
3/16" = 1'-0"



4 EAST ELEVATION
3/16" = 1'-0"



3 NORTH ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"



EXTERIOR VIEW - NORTH VIEW



EXTERIOR VIEW - SOUTHEAST CORNER



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RECON ENGINEERING

NEW OFFICE BUILDING

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EXTERIOR RENDERINGS

A31

stamp

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RECON ENGINEERING

NEW OFFICE BUILDING

[illegible]

MATERIAL PALETTE

G20

KEYNOTES

- 
- RESET**
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stamp

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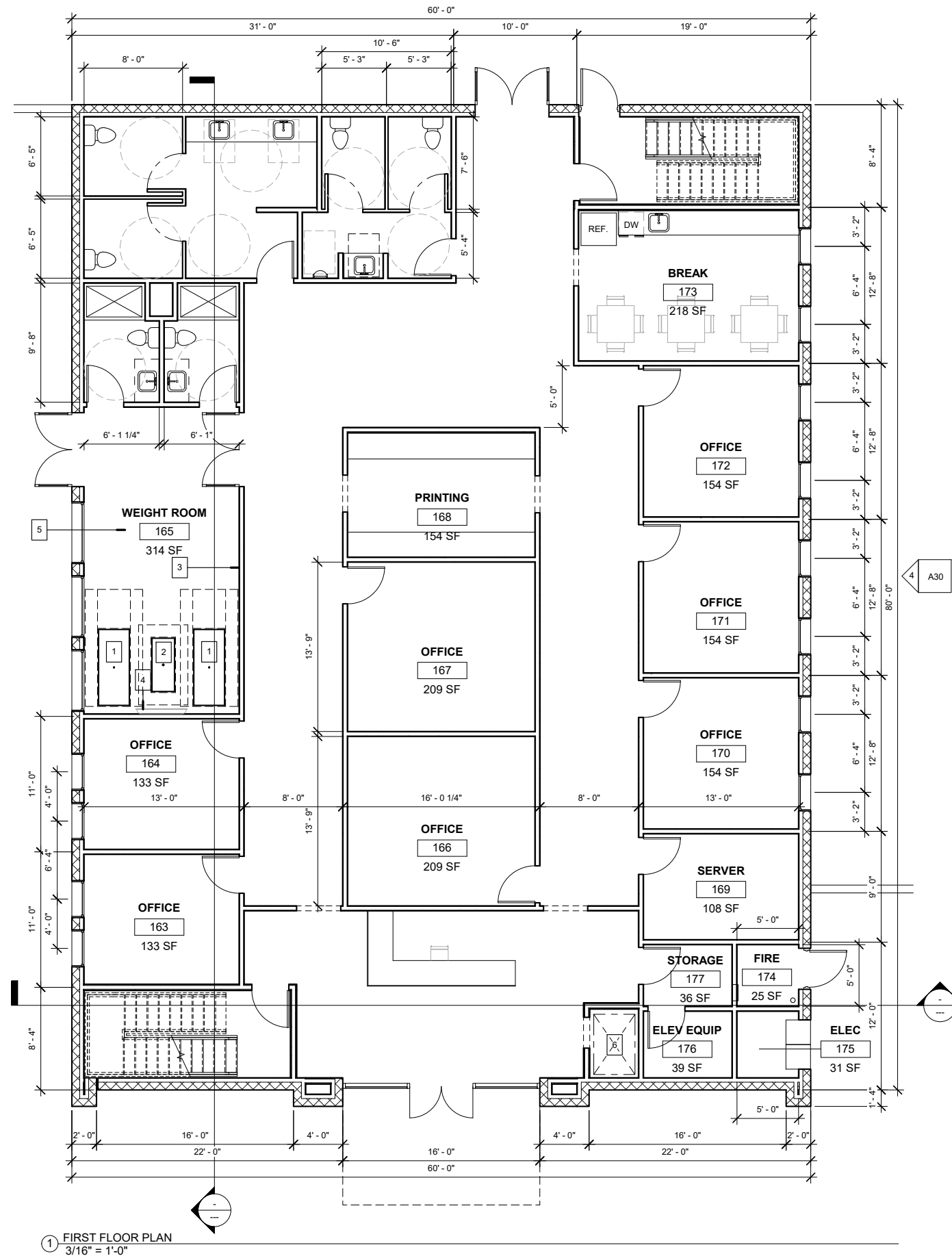
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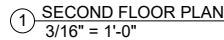
NEW OFFICE BUILDING

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FIRST FLOOR PLAN

A10





- 1
- 2
- 3
- 4
- 5
- 6
- 7



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NEW OFFICE BUILDING

[illegible]

SECOND FLOOR PLAN

A11

RESEARCH
STUDIO

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RECON ENGINEERING

PHOTOMETRIC SITE PI AN

E01

PHOTOMETRIC SITE PLAN
SCALE 3/32" = 1'-0"



N.T.S.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE - FC @ 5' AFG	✕	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
SITE - FC @ GRADE	+	3.0 fc	13.9 fc	0.1 fc	139.0:1	30.0:1

[illegible]

ARDEBILI
Engineering

Project Number: 19269 | Project Manager: OA
8100 E Indian School Rd. Suite 205, Scottsdale, AZ 85251
P: 480.626.7072 | ardehillienn.com



FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for applications requiring low-profile, attractive emergency lighting with optional normally-off or normally-on with photocell control. Provides a minimum of 90 minutes of illumination both indoors and outdoors upon loss of AC power. **Certain airborne contaminants can diminish the integrity of acrylic and/or polycarbonate. Click here for Acrylic/Polycarbonate Compatibility Table for suitable uses.**

CONSTRUCTION — Compact, low-profile, architectural design with die-cast aluminum housing. Finishes are textured powder coat paint for dark bronze, white, black and non-texturized for natural aluminum. Test switch indicator light and remote enabled are located on the bottom of the housing and are easily accessible and visible from the floor.

OPTICS — LEDs with L70 of 55,000 hours. Delivers 635 lumens in Normal-On and Emergency operation. Optional field configurable for wide and/or forward throw distribution (**US Patent Pending**). Outdoor wide throw distribution: 70° (3° path of egress) at a 7.5' mounting height with 1 FC Average, 4,000K correlated color temperature (CCT).

70 CH ELECTRICAL — UVOLT (120 thru 347V, 50/60Hz). Current-limiting charger maximizes battery life and minimizes energy consumption to provide low operating costs. Small battery chargers Certified in the CA Title 20 Appliance Efficiency Database

Short-circuit protection — current-limiting charger circuitry protects printed circuit board from shorts. Regulated charge voltage maintains a stable charge voltage over a wide range of line voltages.

Prevents over/undercharging that shortens battery life and reduces capacity. Filtered charger input minimizes charge voltage ripple and extends battery life.

Photocell option (PEL) for normally on product in order to discontinue illumination during periods when ambient light is present.

Remote units (DELUX) are normally off. Emergency only functionality with DC power from an external battery.

BATTERY: Sealed, maintenance-free nickel-cadmium or Lithium Iron Phosphate battery.

SELF-DIAGNOSTICS AND REMOTE TEST (SDRT OPTION): Automatic 24-hour recharge after a 90-minute discharge. Advanced electrical design provides constant light output throughout the entire discharge period for non-CW batteries. For cold weather and cold temperature applications, the light may diminish through the discharge cycle. Brownout protection is automatically switched to emergency mode when supply voltage drops below approximately 80 percent nominal of 120, 220, 277 or 347. Other input voltages may vary. AC UVolt-re-set allows battery connection before AC power is applied and prevents battery damage from deep discharge.

Self-Diagnostics: Continuously monitors AC functionality. Standard derangement monitoring will indicate disconnected battery, charger failure and displays green flashing indicator light while in emergency mode. Single multi-chromatic LED indicator to display two-state charging, test activation and three-state self-diagnostics.

Self-diagnostic testing: Five minutes every 30 days and 90 minutes annually. Diagnostic evaluation of lamps, AC to DC transfer, battery charging and condition of microprocessor. Automatic test is easily postponed for eight hours by activating manual test switch or use of remote tester (RTXT accessory). Manual testing: Test switch and remotetester (RTXT accessory) provides manual activation of 60-second diagnostic testing for on-demand visual inspection. 90 minute manual testing can be enabled by pressing the test switch again while in test mode.

INSTALLATION — Wall mount typically meets 7.5' to 14' mounting height from ground or floor. Power supplied by either mounting directly to a 4" square or 4" octagon j-box (wall mount) and accepts rigid or flex conduit.

LISTINGS — UL wet location listed standard at 32-122°F (0-50°C). Remote and unit with CW (cold weather) listed for -22°F to 122°F (-30° to 50°C). Meets or exceeds all applicable requirements for UL 924, NFPA 101 (Current Life Safety code), NFPA 70 (NEC), NOM (Norma Oficial Mexicana), California Energy Commission Title 20 section 1605.3 (WEL), FCC Title 47, Part 15, Subpart B and OSHA List and labeled to comply with Canadian Standards C22.2 No. 147-10.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.aaculitybrands.com/CustomerResources/terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

† Small Battery Chargers Certified in the CA Title 20 Appliance Efficiency Database.

Catalog Number	
Notes	
Type	EM1

AFFINITY®
Premium Die-Cast Architectural Emergency Light



without photocell (white)



without photocell (natural aluminum)



with photocell (white)

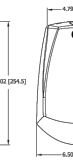


with photocell (dark bronze)

MOUNTING

All dimensions are inches (centimeters).

Shipping weight: 3.5 lbs. (1.59 kgs.)

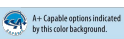


D-Series Size 0
LED Area Luminaire



Specifications

EPA: 0.95 ft² (0.09 m²)
Length: 26" (660 mm)
Width: 13" (330 mm)
Height: 3" (76 mm)
Height: 7" (178 mm)
Weight (max): 16 lbs (7.25 kg)



Ordering Information				EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBX0			
DSX0 LED	LEDs	Color temperature	Emission	Voltage	Mounting		
DSX0 LED	Forward optics		T1S Type I short	T3S Type V short	MVOLT ^{1A}	Shipped included	
	P1	P4	T2S Type II short	T3M Type V medium	120 ^A	SPA Square pole mounting	
	P2	P5	T3M Type II medium	T3W Type V wide	208 ^A	RPA Roundpole mounting	
	P3	P6	T3S Type III short	BLC Backlight cutoff ^B	240 ^A	WRA Wall bracket	
	Rotated optics		T3M Type III medium	LCCO Left corner cutoff ^B	277 ^A	SPUMBA Square pole universal mounting adaptor ^A	
	P10 ^B	P12 ^B	T4M Type IV medium	RCCO Right corner cutoff ^B	347 ^A	RPUMBA Roundpole universal mounting adaptor ^A	
	P11 ^B	P13 ^B	TFM Forward throw medium		480 ^A	Shipped separately	
			TSVS Type V very short			KMA8 DDBX0 U Mast arm mounting bracket adaptor (specify finish) ^B	

Control options	Other options	Finish required
Shipped installed NLTAIR2 nLight All generation 2 enabled ^{1B} PIRHN Network, high-flow motion/ambient sensor ³ PER NEMA twist-lock receptacle only (control ordered separate) ^{1C} PER6 Five-pin receptacle only (control ordered separate) ^{1C,1D} PER7 Seven-pin receptacle only (head exit fixture) (control ordered separate) ^{1C,1D} DM6 0-10V dimming extend out back of housing for external control (control ordered separate)	PIR High-flow, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 36" ^{1A,1B} PIRH High-flow, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 36" ^{1A,1B} PIRHFCW High-flow, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 36" ^{1A,1B} PIRH1FCW High-flow, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 36" ^{1A,1B} FAO Field adjustable output ^{1A}	Shipped installed HS House-side shield ^{1A} SF Single fuse (120, 277, 347V) ^{1A} DF Double fuse (208, 240, 480V) ^{1A} L90 Left rotated optics ¹ R90 Right rotated optics ¹ DDL Diffused drop lens ^{1A} Shipped separately BS Bird spikes ^{1D} EGS External glare shield ^{1D}
		DDBX0 Dark bronze DBLX0 Black DNAX0 Natural aluminum DWHX0 White DDBX0D Textured dark bronze DBLX0D Textured black DNAX0D Textured natural aluminum DWHX0D Textured white



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DSX0 LED Rev. 05/15/19 Page 1 of 6



CORE 400 LX
sconce

PROJECT

Job		Notes
Type	SC	
Part #		

SPECIFICATIONS

Source Xicato XTM LED module - up to 5000 lumens
C.C.T. 2700K, 3000K, 3500K or 4000K
Color Consistency 1x2 SDQM (MacAdam) along BBL, CCT +/- 40K to 70K, Duv +/- .001
CRI (Ra) 83 or 98
Driver / Location Included / Internal with remote or deep canopy options
Dimming 0-10V or phase dimming to 10% standard; DALI, DMX and 1% dimming available
Input Voltage 100 to 277VAC, phase dimmable versions are 120VAC only
Power Up to 57 watts max, depending on LED module / driver
Reflector 11°, 25°, 41°, 51°, or 83° - field replaceable without tools
Material CNC machined aluminum with stainless steel hardware
Finish Powder coat - TGIC polyester for exterior and interior use
Weight 8.5 lb. [3.9 kg]
Location Listed for Wet & Damp locations
Approvals ETL Listed to UL 1598, 2108, 8750 and CSA C22.2# 9 & #250.0
L80 Life > 50,000 hours at 80% lumen maintenance based on IESNA LM-80-08
Warranty Lifetime Limited Warranty - see warranty for details
IES Files LM-79-08 IES files available at www.v2LightingGroup.com/downloads
Modifications Any modification or customization is possible - consult factory



ORDERING LOGIC

Model	Driver Location	Dimming	Mounting Location	Output	CRI *	C.C.T.	Reflector	Shell Color	Options
CHLS	N=Internal R=Remote D=Deep Canopy	N=None P=Phase V=0-10V Z=Other	D=Damp W=Wet	87-700 lm 10-950 lm 13-1300 lm 20-2000 lm 40-4000 lm 90-5000 lm	83-83 98-98 ^B	27-2700K 30-3000K 35-3500K 40-4000K 83-83 ^B	11-11° ** 25-25° 41-41° 83-83° 83-83° **	XX (see chart on page 4) ZZ=Custom	

Example Part Number: **CHLS-IND-13032741-S3**
CORE 400 LX Sconce - Internal Driver, No Dimming, Damp Location - 2000 lm, 83 CRI, 2700K, 41° Reflector - S3 Red Shell

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v2LightingGroup.com

1

New Construction at:
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RECON ENGINEERING

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